



Residential Design Guidelines and Restrictions

(Revised April 2025)

Development Concept

Home Style

Approval Process

Final Inspection

Architectural Design Guidelines

Landscaping & Vista Pruning Guidelines

Setback Requirements

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Setback Requirements

SECTION 1 DEVELOPMENT CONCEPT

Tranquility at Carters Lake is a premier community due to its unparalleled beauty, proximity to Carters Lake, diverse and upscale homes. Keeping the natural beauty of our environment is vital to the community atmosphere. Styles and materials have been selected for Tranquility at Carters Lake, based on their rugged natural appearance and regional appropriateness to the mountain setting. These mountain homes are described briefly in the following pages.

SECTION 2 STYLES

In this section several styles are listed as guidance. Other styles can be submitted for review. The main aesthetic is to keep the mountain setting and the natural environment working in harmony with the homes that are built.

RUSTIC SOUTHERN TRADITIONAL

Rustic Southern Traditional is one of the appropriate regional styles. (Southern Traditional encompasses many regional styles from vernacular farm homes to southern classic revivals.) Characteristics of “Rustic Southern Traditional” homes are expansive porches, lap and shake siding with stone foundations and accents, gabled roofs and a rambling footprint.



CRAFTSMAN

The Craftsman style was selected for its rustic textures, natural materials and rugged character. This style also evokes images of mountain homes and lake cottages appropriate for the setting.

Characteristics of “Craftsman” homes are lower pitched roofs with broad overhangs and exposed rafter tails at the eaves, common use of pergolas and trellises, front porches and tapered columns or columns on pedestals.



RUSTIC MOUNTAIN HOME

Rustic Mountain homes are all characterized by using natural materials with colors and stone that blend into the natural surroundings. This home style features the generous use of heavy timber accents, stone, porches and large windows to enjoy the views of Carters Lake.



SECTION 3 APPROVAL PROCESS

Tranquility At Carters Lake is a covenant-enforced community and our Declaration of Covenants, Restrictions and Easements for Tranquility at Carters Lake governs the building of new homes within our community. **The Governing Documents of the Tranquility at Carters Lake Owners Association require that an Architectural Control Committee (ACC) be formed to ensure that the natural beauty of the area is maintained for the enhancement of each owner's investment. The Tranquility at Carters Lake ACC "shall have the right and the responsibility to approve all building contractors employed or retained by any Homesite owner, and to impose reasonable requirements with respect to financial reliability and professional reputation. The ACC may also require a performance or other bond of the owner and/or building contractor to assure completion of improvements and/or protection and repair of community infrastructure."**

The ACC is comprised of volunteers who live in the community as well as consultants. ACC members should not be spouses or significant others who are concurrently serving as TACLOA Board members.

Property owners planning to build in Tranquility at Carters Lake must choose a builder approved by the Tranquility at Carters Lake Owners Association, Inc. ACC. A list of recommended builders is available, and each builder must be vetted by the ACC for each and every project. An owner may submit a builder to be reviewed by the ACC to see if they meet the requirements to build in TACL.

Note: Each plan submitted must be one that has yet to be built in Tranquility at Carters Lake. No identical or similar house plans/floor plans will be approved. A front elevation of a home can be viewed by the ACC prior to a full plan being submitted.

Prior To Construction

- A site plan must be submitted on a topographic map which shows the location of the house as well as the grade, septic tank and drain field, and all drives, walks, and parking areas, with each clearly indicated in their appropriate location and to scale.
- Prior to any physical disturbance of the site, special and/or irreplaceable features are to be identified and provisions for their protection clearly established. This includes large and/or "character" trees, rock outcroppings, springs and streams, and concentrations of natural plants. These include: wild azaleas, mountain laurel, rhododendrons, wild dogwood and wild holly.
- The ACC will take photos of the private roads directly impacted by construction traffic during the future build. These photos will be compared to photos taken at the end of the build to determine the extent of damage to the private roads.

Site Inspection and Clearing

After plan approval, the builder must request the ACC to make a site inspection which is required prior to lot clearing and construction. The site must be clearly staked to include the proposed house, property lines, and drive. A grade stake must be provided to indicate either the first floor or basement finish grade elevation. Staking shall be with a continuous ribbon and circling the area to be cleared and any additional trees to be cleared outside the encircled area shall be ribboned individually or in groups. Failure to ribbon or stake the lot clearly can result in additional review fees being charged to the builder. Silt fencing shall be a minimum of 36" and must be installed the same day the site is cleared.

The purpose of the site inspection is to ensure compliance with the approved plans and prevent any unnecessary damage to trees or other unique site features. Authorization to proceed with clearing and construction will be issued immediately after inspection. To arrange for site inspection, contact the ACC.

1. Fees

- A. A refundable \$5000.00 compliance deposit for the homeowner and a \$5000.00 compliance deposit for the builder is required. If a homeowner is also the builder, they are responsible for both owner's and builder's deposits (\$10,000.00). At final inspection if the homeowner or builder has met all requirements for ensuring that the design and construction guidelines are met in full including all items listed in the final field review letter then the compliance deposit will be returned.
- B. A one-time, non-refundable fee of \$750.00 shall be accessed at submission to cover all plan reviews.
- C. A one-time, non-refundable impact fee of \$1000.00 for all constructions taking place on Tranquility at Carters Lake community roads. Any damages to the private roads exceeding \$1000 incurred as a result of the house build will be the responsibility of the property owner and builder.
- D. ***Variances are required to be completed by the homeowner for any design changes which differ from the originally approved plan as well as any design or material changes which are not outlined in these guidelines. Any post-executed variance requests may be assessed a fee of \$500.00 per request after the initial plan has been approved. Any such fee assessments will be deducted from the compliance deposit(s). All variance requests are subject to review by the ACC.***

2. Initial Plan Review

A CAD version or full-size paper version **and** two sets of items B, C, and D below shall be submitted to the ACC (Architectural Control Committee) for review in 1/4" scale and on 11x17 inch paper. CAD electronic versions can be submitted in addition to the 11x17 inch paper but will not be accepted in lieu of the hard copy plans. This material will be reviewed for compliance with the Architectural Guidelines and cohesion with the community concept and design quality. Plans will be sent out to a third party for review.

- A. Complete Owner Application for Residential Construction and submit it to the Tranquility at Carters Lake Owners Association, Inc. (TACLOA, Inc.) Architectural Control Committee (ACC). The ACC can be available to meet with the builder upon request.
- B. Preliminary Site Plan with north arrow, scale, property lines, house placement, setbacks, driveways, walks, decks, terraces, A/C condenser and screening, fences and pools.
- C. Preliminary floor plans and roof plan showing areas for each floor and overall dimensions with square footage for each floor.
- D. Preliminary elevations indicating exterior material.
- E. A Builder Application for Residential Construction and a Plan Review Application must be completed and submitted to the ACC for approval. Review Builder Rules and Regulations.
- F. No site work or construction may begin until approval by the ACC is obtained.

3. Initial Plan Review Report

The ACC shall have 21 days to render a report on the initial plan review. The owner of the property will receive a design review with one of the following decisions:

- A. Approval.
- B. Approval with recommended changes to be made before the Final Plan Review.
- C. Submission returned with recommended changes to be made before resubmitting for Initial Plan Review.
- D. Rejection with an explanation of the reasons.

4. Final Plan Review

Upon approval of the Initial Plan, two complete sets of the final construction documents shall be submitted to the ACC for Final Plan Review in 1/4" scale and 2 copies on 11x17 inch paper for permanent file records. This material will be reviewed for compliance with the Architectural Guidelines, cohesion with the community concept and design quality. The construction documents shall include the following material:

- A. Complete Plan Review Application.
- B. Site Plan with north arrow, scale, property lines, required setbacks, actual setbacks, house placement, location of all proposed structures, setbacks, driveways, walks, decks, terrace, A/C condenser and screening, fences, pools, finished first floor elevation and roof overhangs.
- C. All floor plans at 1/4" scale for Architectural Review.
- D. All exterior elevations at 1/4" scale indicating exterior materials, roof pitch, finished floor elevations, window header heights, building height.
- E. Roof plan at 1/8" or 1/4" scale indicating roof pitch material and overhangs.
- F. Details - typical wall section, cornice, rake and water table details and window and door surround details.
- G. Full exterior color selection with samples (paint colors on the house material, stone samples, etc.). The ACC will re-review any color selection a potential homebuyer wishes to alter after approval.
- H. Front Entrance
 - The front entry must be different from the remaining doors and windows visible on the front of the house, clearly recognizable as the primary entrance. The front entry or primary entrance must have a covered porch or stoop.
 - **Front** porches on the front entrance may **not** be enclosed. No double-height **front** porches, two-story **front** porches, or double stacked **front** porches are allowed.
 - The space between piers supporting front porches must be screened from view with approved natural stone masonry.
 - The surface of the **front** porch or stoop must be real stone (flagstone). The minimum depth of porches must be 8'0". However, **front** entry porches may be of less depth if consistent with the design of the house.
- I. Exterior light fixture schedule.

5. Final Plan Review Report

The ACC shall have 21 days after receipt of all requested items above to render a report on the final plan review. The property owner will receive a design review with one of the following decisions.

- A. Approval.
- B. Approval with recommended changes to be made without requiring the owner to resubmit plans for review.
- C. Submission returned with recommended changes to be made before resubmitting for final review.
- D. Rejection with an explanation of the reasons for rejection.

6. ACC Site Visits

Site visits shall be performed by the ACC on an ongoing, regular basis to determine compliance with the final approved design.

7. Final Inspection

- A. The Homeowner or builder will request final field review no later than within 30 days prior to closing or within 30 days of completion of all improvements. The ACC will then conduct a final field review, sending a certified letter to the builder and owner listing any changes required to bring the home into compliance with the approved plans. If corrections are not made within 60 days, the compliance deposit will be forfeited, and the owner will also be notified, and a copy of the certified letter will be sent to the owner notifying them that they are responsible for compliance with the design guidelines.
- B. If the homeowner or builder fails to request a final field review in time to allow for the review prior to the home being occupied, the construction deposit is subject to forfeiture. The builder and the homeowner will both be held responsible for ensuring that the design and construction guidelines are met in full including all items listed in the final field review letter.

SECTION 4 ARCHITECTURAL DESIGN GUIDELINES

A. Building Mass, Size and Height

- The minimum square footage requirements are 1,600 square feet as per Covenants. Square footage is determined by finished, heated space from two floors only (either first floor or first and second floor). The main floor, having the home's main entrance, must be a minimum of 1,200 square feet with the remaining heated space being located on the second (upper) floor, or walkout basement.

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- The mass of the building will be designed to complement the character of the site. This can be accomplished by manipulating the footprint, rooflines and/or exterior materials, as well as adding covered porches, stoops and dormers.
- Corner and cul-de-sac lots are to be treated as having two front elevations.
- The building height is determined by the highest point of the roof, excluding chimneys and finials, from the finished first floor. This height cannot exceed 40'.
- The finished first floor shall be no lower than 18" and no higher than 42" above grade.
- Residential structures shall have a minimum 9'-0" poured concrete basement walls, 10'-0" first floor to ceiling height and 8'-0" second floor to ceiling height. The 10'-0" first floor ceiling height is due to the 8'-0" door and window requirement.

B. Exterior Materials and Colors

Colors must be approved by the Architectural Control Committee.

The architecture shall complement the rugged nature of the site through exterior finish materials and colors. The materials shall be rough, coarse and natural. The colors shall blend in with the natural forested environment.

The following materials are allowed at Tranquility at Carters Lake:

- Lap Siding – Genuine solid wood or cement siding with wood grain finish.
- Shake Siding – Genuine solid wood or cement siding with wood grain finish.
- Board & Batten Wall Siding – Genuine solid wood or cement siding with wood grain finish.
- Veneer cement materials are not allowed.
- Stone - All front exterior facades, regardless of material, must include one significant architectural element covered in approved stone. Real stone must be used in a stack style, or in a vertical style provided that the stone used is also 1 ½" - 2" thickness and stacked type. Stone types and colors are to be generally indigenous to the area. Tennessee field stone is an example of approved stone.

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- Log Siding – Traditional Appalachian (rectangular, flat face) logs or siding of minimum 12" height (excluding simulated chink recess) with dovetail corners may be used. Logs or siding must be stained an approved color. Simulated chinking of a different color is not accepted. Any facade of primarily log material must include at least one significant architectural element covered in approved stone.
- Exterior Trim and fascia - Genuine solid wood or cement board with wood grain

Materials not allowed at Tranquility at Carters Lake:

- Artificial stone
- Stucco/Parging/Painted Concrete
- Aluminum, Vinyl, Masonite siding or engineered wood siding products, engineered wood trim products
- Round Log or brick construction

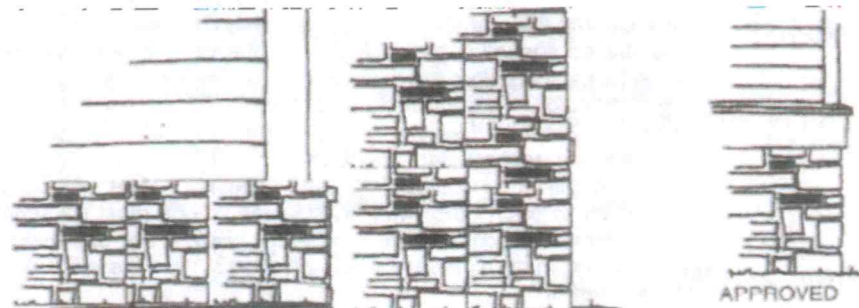
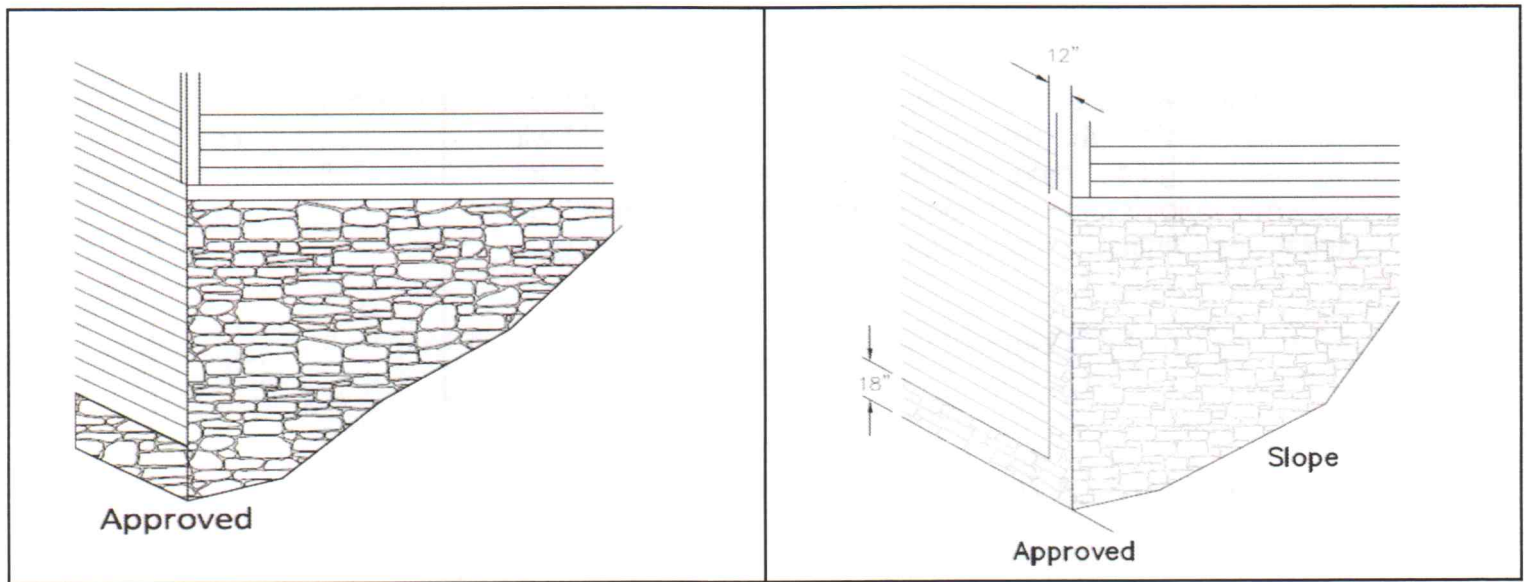
C. Foundation and Water Table

All homes and ancillary structures (garages, garden sheds, green houses, etc.) must have a masonry water table up to the finished first floor height, on all sides of the house or structure. A stepping down water table is not allowed.

The water table must be expressed in a horizontal band around the house at the first finished floor height. If the basement is a walk out, the water table can drop down to 18" above grade **only on the elevation that contains a door** or to the height of the windows on that level. The stone can either be wrapped around the rear elevation and dropped to 18" or not wrapped at the corner and dropped to 18" on the rear elevation as shown in the illustrations below.

Any stone water table variations on left, right or rear elevations requires ACC approval.

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NOT APPROVED - Exposed concrete basement subwall. No water table.

NOT APPROVED - Stepping down masonry water table. Veneer water table to wrap all four sides of house.

D. Garages, Driveways, Walks and Landings

Each residence must have a minimum of a 2-car garage with a minimum of 1'-8" between each garage door and the corner of the garage.

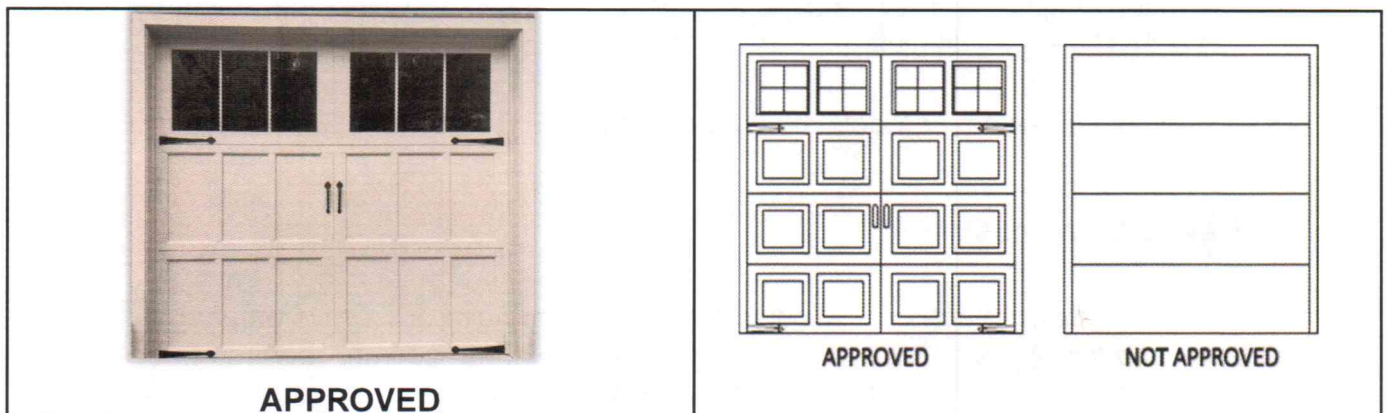
The garage can be separate or connected to the primary residence. If this is not possible due to site constraints, a drive under garage is permitted with ACC approval.

Front entry garages (facing the street) must have overhanging architectural elements such as pergolas or trellises to dress up the garage.

The scale of a separate garage must be distinctly smaller than the scale of the primary residence. The level of detail for the garage must be equal to the main house.

Garage Doors

- Garage doors must be single doors no wider than 10' unless approval is given by the ACC. Double garage doors are allowed with special approval in instances where necessary for reasonable clearance due to the size and layout of the lot and driveway.
- The garage doors must appear to be out-swinging carriage doors.
- Front entry garage doors are not allowed unless necessary due to lot dimensions.
- All front entry garage doors are subject to approval by the ACC.
- No plain flush garage doors or garage doors without windows are allowed.



Driveways should be a maximum 12' wide, flaring out at the curb for a skirt and allowing for turnaround at the garage. The acceptable finish material for driveways is asphalt. Concrete is not approved.

A walkway must connect the driveway to the front entry of a property. Walkways should be of natural stone such as flagstone, approved brick pavers. All other entry points for a home shall have an exterior landing.

Driveway Culverts, Walls and Fences

All lots with driveways crossing a drainage ditch in the 50' right of way will require a stormwater culvert. Culverts may be of RCP (Reinforced Concrete Pipe) or Aluminized Steel, Type 2 CMP (Corrugated Metal Pipe), 18" minimum diameter. All other piping materials must be approved.

- Headwalls around any culverts are required and will be of stone and will require contracting with a stone mason to maintain a continuous look throughout the development. Grading contractors and landscapers will grade and grass the slopes into and out of the culvert pipe for erosion control and ease of mowing.
- Retaining walls shall be approved by the ACC and will be subject to height and orientation restrictions. All retaining walls will be faced with natural materials consistent with those used on the structures.
- Fences are to be constructed of natural materials as approved by the ACC and used only for screening of utility, solid waste or HVAC equipment. Fences of solid materials, chain link, or other similar sight blocking materials are not approved.
- Fences of split rail or stone used as landscape accents must be approved by the ACC before installation.
- Fences for swimming pools must be approved by the ACC.

Driveway Entrances

Gated driveway entrances are allowed for homes that have driveways entering directly into the property from the public road. These entrances are required to be consistent with the overall design at TACLOA, with natural stone construction. Gates shall be of steel or of wood clad steel and approved by the ACC.

E. Roofs and Gutters

The primary roof of a house or garage shall have a minimum roof pitch of 10/12 unless a lower slope no less than 8/12 is appropriate for the style as determined by the ACC. Other roofs (shed roofs, wings off house, accent gables, bays, dormer, etc.) shall have a minimum pitch of 6/12. When a roof is part of a classical pediment, a 5/12 pitch shall be allowed. Certain porch roofs may have a minimum of 3/12 pitch.

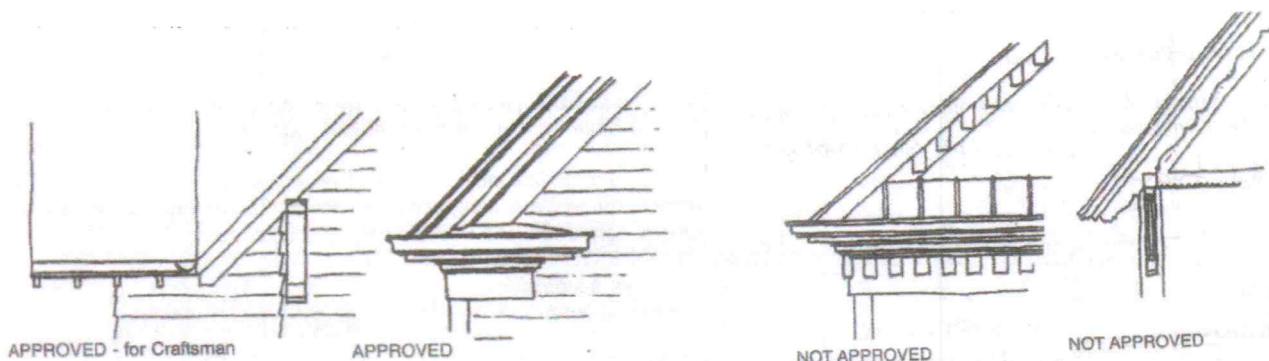
- Flat roofs are not allowed unless used as a deck, terrace or porch with a surrounding balustrade, accessible from an adjacent interior room.
- Acceptable roofing materials include cedar or pressure treated pine shake, slate, or synthetic slate and fiberglass composition shingles of an irregular or architectural style, and in approved colors to blend with the natural environment.
- Metal roofs are not acceptable. Accents of standing seam or sheet metal roofs not more than 15% are acceptable with ACC approval.
- Roof materials and colors must be approved by the ACC.
- Rooflines should be used to accentuate the style of the home.

Gutters

All gutters must be of seamless construction in pre-finished color consistent with the house. No vinyl gutters are allowed. All gutter extensions are to be properly buried so as not to be visible.

F. Cornices

All cornices must be appropriate to the style of house they are on and to the overall development concept.



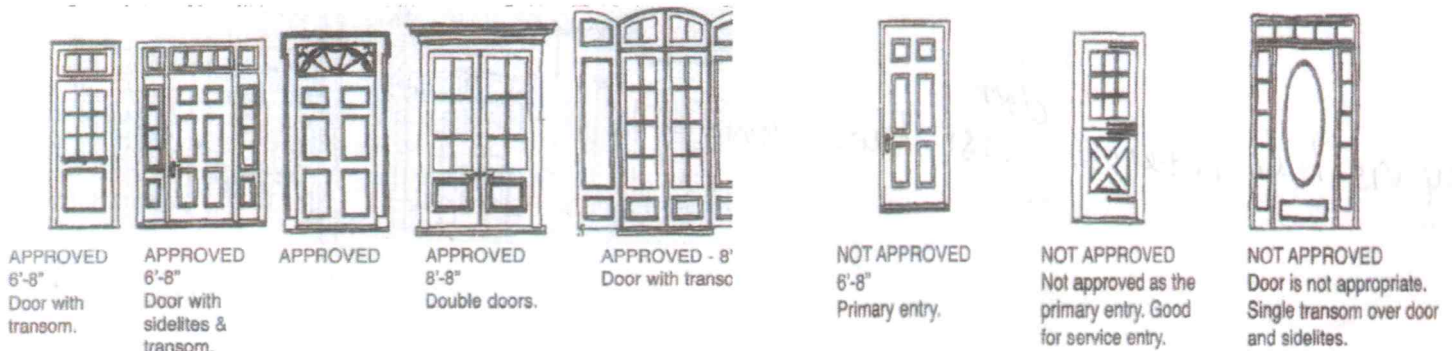
G. Exterior Doors

All doors on the first floor must be a minimum height of 8'-0" unless accompanied by a transom. Doors 6'-8" high with transoms are permitted, provided the height of the door and transom are at least 8'-0" high.

True divided lights or simulated divided lights are acceptable in doors with glazing.

Doors and hardware should be appropriate to the style and scale of the house. Transom lights must be of equal size and proportion to the lights of the door. No stained glass or leaded glass doors are allowed unless appropriate to the style of the house and approved by ACC.

No storm doors or screen doors may be visible from the street. Any screen doors must be appropriate to the style of the house. No sliding glass doors may be visible from the street. Any visible exterior door must have a covering.



H. Front Entrance

The front entry or primary entrance must have a covered porch or stoop.

The front entry must be different from the remaining doors and windows visible on the front of the house, clearly recognizable as the primary entrance. True divided lights or simulated divided lights are required on front entry doors.

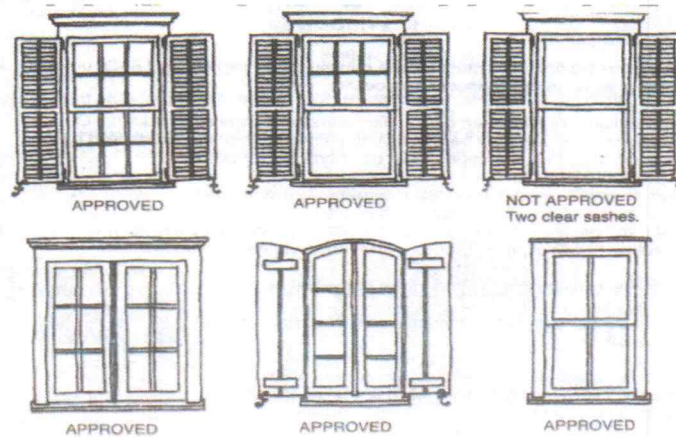
I. Windows

All windows on the first floor must have a minimum header height of 8'-0" unless in a bay or acting as an isolated accent window.

All windows should be full length windows where possible. True divided lights or simulated divided lights are required on all windows with the exception of rear facing windows. Single pane and low contractor grade windows are not allowed. All windows, including non-rectangular shaped windows, must be approved by the ACC. Window framing and trim are required and must be appropriate to the house style.

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Use round, oval or decorative windows only as accent or focal point windows. No clear sash double hung windows. Windows with clear lower sash and divided light upper sash are allowed when appropriate to the house style. Visible window screens must be approved by the ACC.



J. Shutters

Shutters are allowed and encouraged if appropriate to the style of the house.

K. Awnings

Awnings are not permitted.

L. Dormers

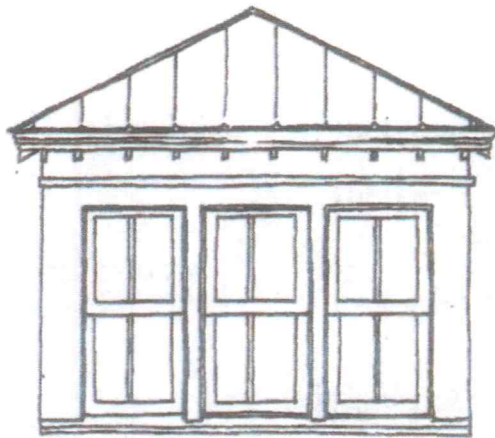
Dormers must be appropriately proportioned and detailed. No excessive trim or molding is allowed.

Windows should be placed appropriately in the dormer, centered without excessive headroom.

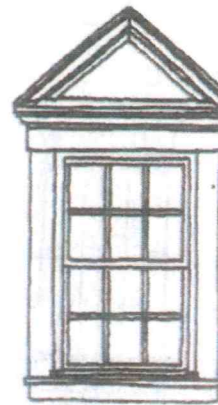
Eaves must have acceptable overhangs. Minimize overhangs to avoid a “dog house” look.

Dormer roofs may be gabled, hipped or shed. Gable and hip dormer roofs must have a slope between 8/12 and 12/12, unless acting as a classical pediment, when a 5/12 slope is allowed.

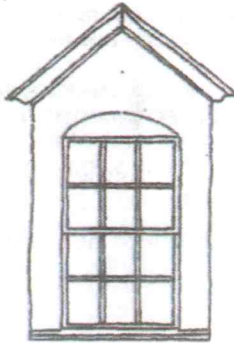
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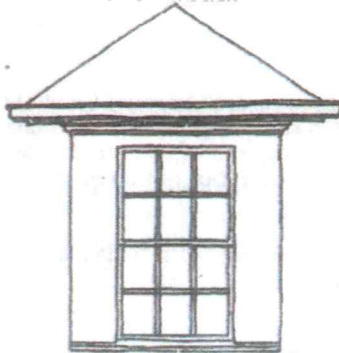
APPROVED



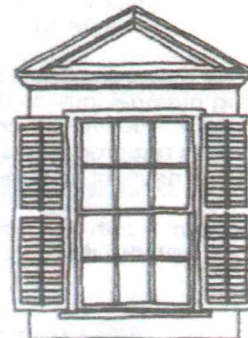
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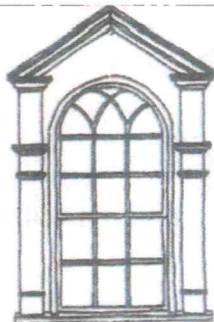
NOT APPROVED - Too much headroom above window.



NOT APPROVED - Too much overhang.



NOT APPROVED - Inappropriate style & shutters.



NOT APPROVED-Inappropriate style.



NOT APPROVED - Inappropriate style.

M. Porches

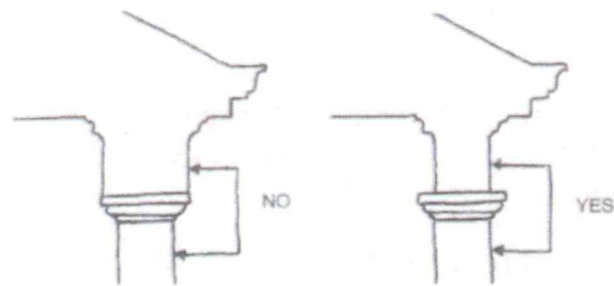
The front entry must be covered by either a porch or a stoop, to enhance the character of the home. No double height, two-story porches, or double stacked porches are allowed on the front elevation.

The space between piers supporting the front porch must be visually screened in approved stone.

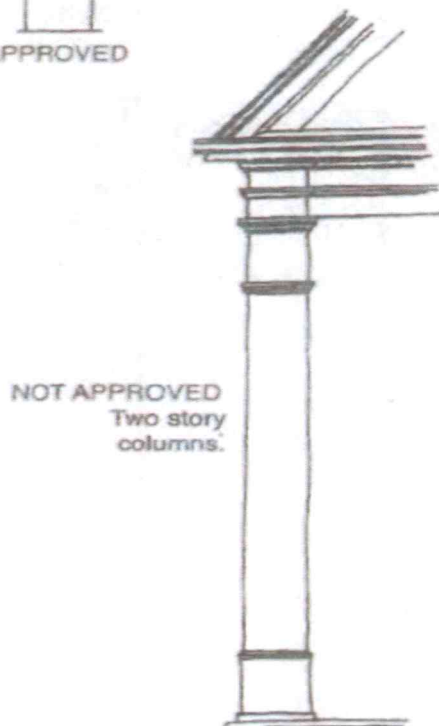
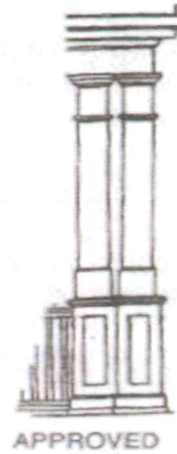
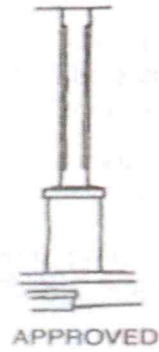
Minimum depth of back deck must be 8'-0'. Entry porches may be of less depth if consistent with the design of the house.

N. Columns

- All columns need to be "trimmed up" on the bottom or the top of the column. Options can include stone, metal, or wood trim appropriate to the style of the house. See illustrations below.
- Box columns are encouraged.
- Rectangular columns with differing dimensions at the top and bottom of the column and supported by natural stone piers are allowed if consistent with the design of the home.
- Columns must be appropriately sized and proportioned for their style.
- Entablatures must align with column necking.
- Railing must be appropriate to the style and scale of the porch.
- No aluminum columns are allowed. Aluminum plinths are allowed.
- No turned wood columns are allowed.



Columns' necking MUST align with face of entablature.



NOT APPROVED
No turned posts or
fretwork on porch.



NOT APPROVED
Round columns
without entasis.

O. Electrical and Mechanical Equipment

All electrical and mechanical equipment must be screened from view from the street. This equipment includes but is not limited to air conditioning condensers, electrical transformers, etc. This equipment can be screened by fences, landscaping and walls.

Propane and other fuel tanks must be underground.

P. Garbage and Trash Storage/Disposal

If garbage and trash containers are to be stored outside, they must be stored in a screened enclosure. The screening shall be compatible with the structure to which it is adjacent. The enclosure shall be located on the side or rear of this structure. All exterior trash cans must be bear proof.

Garbage and trash containers must be inaccessible to animals. Construction waste generated on any homesite shall be properly disposed of and kept contained in a dumpster or other approved storage receptacles. At no time shall construction waste or construction materials be allowed to blow onto adjacent properties.

All construction waste and dumpsters must be removed from the homesite prior to final occupancy inspection from the local governing agency.

Q. Mailboxes and House Numbers

An approved mailbox must be purchased from a TACLOA board member and installed prior to the receipt of a certificate of occupancy.

The home's house number may be on the front elevation. The location should be approved by the ACC before attaching to the home.

R. Exterior Lighting

- All exterior lighting shall complement the style of the house or structure on which it is fixed and shall not be intrusive lighting.
- An exterior light fixture schedule shall be submitted with the Plan Review Application. Exterior lighting shall not be intrusive to adjacent properties. Changes to the initial approved plan will require a Design Variance.
- Wiring for all landscape lighting is to be placed underground. Walkway and drive lights shall be low voltage and spaced appropriately to the walkway and drive design and must be approved by the ACC.
- No "utility company" security lights mounted on structures or poles are allowed.

S. Satellite Dishes, Antennas and Solar Equipment

- All satellite dishes and antennas must be mounted so they are not visible from the street. Any satellite dishes or antennas mounted on the ground must be screened by fences, landscaping or walls.
- Location of satellite dishes must be shown on the construction documents for final plan review.
- No active solar equipment is permitted without prior ACC approval.

T. Decks and Terraces

- Covered porches are preferred whenever possible to accentuate the character of the homes.
- Decks are allowed on the rear of the home and must complement the style of the home and be designed by the architect or residential designer. Minimum depth of back deck must be 8'-0". The design must be submitted for final plan review.
- All foundation surfaces must be covered in approved materials. **NO EXPOSED CONCRETE IS ALLOWED.**
- Exposed metal posts are not allowed. If they are necessary due to code requirements or site conditions, they must be concealed by a column.
- These columns must be treated as any other column on the house. See column section for details.
- Columns, newels and rails on decks must match those on porches in design and finish.
- When site conditions permit, terraces are preferred to decks.
- Available finish materials for terraces include but are not limited to brick, approved pavers, stone.
- Swimming pools are allowed subject to ACC approval. Outside hot tubs must be located at the rear of the house and surrounded by decking etc. to not be visible. Pools and related decks and fences must be designed to blend into the natural landscape.

U. Play Equipment, Decorative Appurtenances, and Exterior Furniture

Play equipment must blend with the home and the natural environment. Designs and materials are to be submitted to the ACC for approval.

Decorative appurtenances which include, but are not limited to, statuary, banners/flags (except for the United States flag), bird/butterfly houses, bird/animal feeders, bird baths/ fountains/ponds, outdoor furniture, planters and the like must blend with the home and the natural environment.

Holiday decorations must likewise blend with the home and the natural environment and consist of live or natural appearing materials. No plastic caricatures, flashing or running lights, lights delineating structures or property lines are permitted.

Seasonal decorations are allowed for the applicable holiday period and shall be promptly removed thereafter.

V. Landscape Maintenance

Although the natural landscape environment is part of the development concept of Tranquility at Carters Lake, homeowners are expected to keep the natural landscape in check.

- Fallen trees and branches are to be picked up and removed from the property and excessive underbrush/grass growth shall be cut back from areas visible from the right of way.
- Trees and shrubbery shall be limbed up as needed to keep properties well kept. All non-native landscaping properly pruned and trimmed. **NOTE:** Property owners without homes are not subject to landscape maintenance requirements.

W. Outdoor Fire Pits and Fireplaces

Permanent outdoor fireplaces or fire pits shall be approved by the ACC. When considering construction of outdoor fireplaces and fire pits, property owners must incorporate sufficient fire safety provisions including fire retardant materials, non-combustible surrounds, minimum distance from structures and water source in case of emergency.

Portable outdoor fire pits shall be used and stored only in the rear yard of homesites.

Portable outdoor fire pits shall be a minimum 6" deep and 2' across to keep embers and flames contained and must be set atop a non-combustible surface such as concrete, stone, gravel, brick or a fire-resistant composite.

A setback of 25' from any structure is recommended for both permanent or portable outdoor fire pits.

SECTION 5 NATURAL LANDSCAPING AND VISTA PRUNING GUIDELINES

Why it's important...

Trees and shrubs help define our environment, adding form and texture to the landscape. While the animals depend on them for habitat and sustenance, we rely on trees and shrubs to lend visual perspective and complement the man-made architecture of our homes. Trees also provide shade, reminding us that even the climates of our yards and homes are affected by plant life.

The Guide to Natural Landscaping and Vista Pruning at Tranquility at Carters Lake

The following covenants and guidelines on Landscaping and Vista Pruning are designed to benefit the community as a whole. This declaration of covenants and restriction of the Tranquility at Carters Lake Architectural Control committee establishes the rights and discretion to approve landscaping and tree trimming.

All property at Tranquility at Carters Lake is subject to these covenants.

A careful study of this publication will lend understanding to the reasons behind the covenants and guidelines and create a greater appreciation of the benefits to the community as a whole that will result from following them. Ultimately, compliance with these guidelines will satisfy the vision of all Tranquility at Carters Lake property owners for a beautiful environment we can all enjoy for years to come.

Vista Pruning

One of the primary reasons for purchasing a homesite at a higher elevation is to enjoy the views from any given property in the community. **The removal or pruning of trees and shrubs or other purposes cannot be done until house plans have been approved by the ACC and construction has begun, and then only with on-site approval of the Tranquility at Carters Lake ACC.**

Both distant views and views through the nearby woodlands can be maintained and enhanced through careful removal and pruning of trees. Excessive removal, over-trimming of trees can diminish the appearance of the natural environment and is specifically not allowed. Attempting to achieve an unobstructed “panoramic” view can often destroy that natural appearance by creating an unattractive raw or chopped look. The goal of careful vista pruning is to ensure that trees look as if they have never been touched.

Tree topping is not allowed.

Natural Landscaping and Vista Pruning Guidelines

Correct vista pruning of home sites at higher elevations is particularly important, since they are a full view from a distance and from other homesites on the property. Over time, vista pruning is a critical factor in determining the quality and aesthetics of the Tranquility at Carters Lake community. Keeping the natural forested environment is imperative for the natural beauty of the community.

Natural Landscaping and Vista Pruning Procedures

The best policy for pruning is to be patient. Wait and watch for several months or a year after construction so existing trees and vistas can be fully appreciated. Consider the balance between resplendent spring and fall colors of red maples, sour woods, black gums, and dogwoods as they contrast with the less colorful but larger and more sturdy oaks and hickories. Remember, once branches and trees are removed, they cannot be replaced. They can always be removed at a later date. When properly done, pruning will not have to be repeated for many years. Trees will appear natural, as if they were never disturbed by human hands.

Procedures

- The tree canopy is the upper controlling part of the forest, and it is important to be sure its integrity is preserved during the pruning process. The proper pruning procedure uses existing or new “windows” within the tree canopy, allowing homeowners to enjoy tasteful views from their properties, whether those views are distant or simply a view through the nearby forest. Windows allow property owners to experience a range of views from different points on the property and as the seasons change.
- If possible, always trim under the tree canopy. The test of whether a limb should be removed or not is to determine whether its absence will be detected, or whether it will affect the natural appearance of the canopy.
- If a limb in the canopy must be pruned, consider the effect it will have on future growth of the canopy, as well on the open space and ground below, especially with respect to light.

Natural Landscaping

The goal of natural landscaping is to bridge the gap between man-made construction of a house and the natural environment in which the house is built. Done well, natural landscaping allows the physical structure of a house to blend with its surrounding natural environment and can be an integral part of converting a house on a lot into a visually appealing homesite.

Because Tranquility at Carters Lake homesites are part of a mountain setting, landscaping features of typical suburban homes are not allowed. Natural landscaping takes into account other factors, such as the initial siting of the house on the lot; the use of structural features such as driveways, walks and retaining walls and the use of certain plants to blend these features, along with the house, into the surrounding natural environment.

Creekside Lots

Vegetation along the creek is important to keep erosion from occurring. Removal of ANY vegetation along the creek bank requires ACC approval.

After Construction

- Final landscaping plan must be submitted on a site plan. This is based on the submission and approval of a natural landscape development plan which should locate and specify the kinds of ground covers, shrubs and trees for the drives, parking areas, driveway entry, road frontage, and disturbed areas, and also any landscape construction such as walk, steps and walls. This is intended to be your basic initial landscape design.
- The removal or pruning of trees and shrubs or other purposes cannot be done until after construction is completed; and then only with on-site approval of the Tranquility at Carters Lake ACC.
- Covenants also tightly control or prohibit signs, fencing, play equipment, garbage containers and similar non-natural features.

Procedures for Natural Screening

- Drives, parking, patios and paths should be screened and softened in accordance with the above considerations.
- The homeowner is responsible for making the driveway entrance and road frontage attractive, even though they are within the road right-of-way, rather than on a lot.

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- Transformers, drains, culverts and similar features should be appropriately screened and blended into the environment.
- The use of rustic fencing (decorative, as approved by the ACC), stone walls and other structural features are encouraged. If a low bank is present, it needs to be sloped back so that it will retain a covering of mulch. Excess dirt should be hauled away. High banks or deep culverts require special attention for determining the extent to which landscaping is required. Natural mulching materials are to be used to cover exposed earth during and after construction.
- Gravel, lava rock and the like are also not permitted.
- Natural mulching materials are to be used to cover exposed earth during and after construction. Brown artificially colored mulches are permitted with ACC approval. "Dirty Mulch" is not permitted.

Ground Cover, Shrubs and Trees at Tranquility at Carters Lake

No invasive plants, i.e., kudzu, bamboo and the like are permitted.

SECTION 6 DAMAGED HOMES

If a home is structurally damaged due to fire, fallen tree or natural disaster, you must start repairs within three (3) months of the initial damage, **or notify the ACC of extenuating circumstances.**

If a home is destroyed, you must either rebuild your home or remove all existence of the home, including the foundation. The home should be rebuilt within the allowable 12-month time frame, **or notify the ACC of extenuating circumstances.** If the home is not going to be rebuilt within this time frame, you will have three (3) months to clear the property of all debris, including the foundation. All debris **MUST** be removed from the property and disposed of properly.

The ACC will need to approve all improvements and changes to a damaged home.



Setback Requirements

07/27/2006

All home sites at Tranquility are subject to Gilmer County's Land Use Ordinance administered by the Gilmer County Planning & Community Development Department, 51 Broad Street, Ellijay, GA 30540. They can be reached at 706- 635-3406. Zoning and minimum setback requirements (as required by Gilmer County or Tranquility) for the community are as follows:

Phase	Front Setback from the Road:		Side Setbacks from Lot Lines	Rear Setback from Lot Line	Zoning Classificati on
	Right of Way	Centerline(1)		(See note (4))	
1	25 ft	55 ft	15 ft(2)	25 ft(2)	R-2
2	25 ft	55 ft	15 ft	15 ft	R-2
3	5 ft	55 ft	15 ft	15 ft	R-2
4	25 ft	55 ft	15 ft(2)	25 ft	R-2
5	25 ft	55 ft	15 ft	15 ft	R-2
9(3) (future)	25 ft	55 ft	10 ft	25 ft	R-2

- (1) Centerline setback is for information only. Actual setback is determined by distance from the road right of way.
- (2) Phases 1 and 4 side and rear setbacks are determined by the Architectural Control Committee of Tranquility at Carters Lake Owners Association, Inc. and are generally consistent with other phases in the community. (A variance may be allowed on certain sites of 10 feet on side setbacks.)
- (3) Tentative setbacks subject to final approval by Gilmer County.
- (4) All rear setbacks will generally be a minimum of 25 feet. Additional setbacks from the water may be required for home sites with frontage on Harris Creek or other streams within the community.

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Doll Mountain Road runs through Tranquility and is a public road maintained by Gilmer County. All the home sites in Phase 3 have frontage on this road which has a 100' right of way. Any other home site in other phases that borders Doll Mountain Road has a setback on that border of 40 feet from the right of way. Tranquility's interior roads have 60' rights of way.

Tranquility's Architectural Control Committee may impose setback requirements on specific home sites that are more restrictive than those required by Gilmer County.