



# **RESIDENTIAL DESIGN GUIDELINES AND RESTRICTIONS**

**Development Concept**

**Home Style**

**Approval Process**

**Architectural Design Guidelines**

**Landscaping Guidelines**

**Setbacks**

**Sub-surface Sewer System Summary**

## **TABLE OF CONTENTS**

### **Section**

- 1) Development Concept**
- 2) Home Styles**
- 3) Approval Process**
- 4) Architectural Design Guidelines**
  - A. Building Mass, Size and Height**
  - B. Exterior Materials and Colors**
  - C. Foundation and Water Table**
  - D. Garages, Driveways & Culverts**
  - E. Roofs**
  - F. Cornices**
  - G. Exterior Doors**
  - H. Front Entry**
  - I. Windows**
  - J. Shutters**
  - K. Awnings**
  - L. Dormers**
  - M. Porches**
  - N. Columns**
  - O. Electrical and Mechanical Equipment**
  - P. Garbage and Trash Containers**
  - Q. Mailboxes and House Numbers**
  - R. Exterior Lighting**
  - S. Satellite Dishes, Utility, Antennas and Solar Equipment**
  - T. Decks and Terraces**
  - U. Play Equipment, Decorative Appurtenances and Exterior Furniture**
  - V. Landscape Maintenance**
  - W. Outdoor Fire Pits and Fireplaces**

### **Separate Attachments:**

Application for Design Review

General Rules and Regulations for Approved Builders

## **SECTION 1 DEVELOPMENT CONCEPT**

Gently rolling hills and tumbling streams along the shores of Carters Lake provide a unique opportunity for discriminating homeowners. TRANQUILITY at Carters Lake will become a unique built environment that complements the natural beauty of this wooded property. Rustic and sophisticated one-of-a-kind custom homes with spectacular views will nestle into the private, natural terrain of TRANQUILITY at Carters Lake. This lifestyle is what we call “Rustic Sophistication”.

These design guidelines have been created to help make this vision a reality. The design guidelines identify appropriate styles, provide a written and visual reference to appropriate architecture and outline a procedure for design review and approval for TRANQUILITY at Carters Lake. By shaping the quality and character of the development, the value of its homeowners’ investments will be protected.

Styles have been selected for TRANQUILITY at Carters Lake, based on their rambling nature, rugged natural appearance and regional appropriateness to the mountain setting. These mountain homes are described briefly in the following pages.



## **SECTION 2 STYLES:**

## **RUSTIC SOUTHERN TRADITIONAL**

Rustic Southern Traditional is one of the appropriate regional styles. (Southern Traditional encompasses many regional styles from vernacular farm homes to southern classic revivals.) Characteristics of “Rustic Southern Traditional” homes are expansive porches, lap and shake siding with stone foundations and accents, gabled roofs and a rambling footprint.



## **CRAFTSMAN**

The Craftsman style was selected for its rustic textures, natural



materials and rugged character. This style also evokes images of mountain homes and lake cottages appropriate for the setting. Characteristics of “Craftsman” homes are lower pitched roofs with broad overhangs and exposed rafter tails at the eaves, common use of pergolas and trellises, front porches and tapered columns or columns on pedestals.



## RUSTIC MOUNTAIN HOME



Rustic Mountain homes are all characterized by using natural materials with colors and stone that blend into the natural surroundings. This home style features the generous use of heavy timber accents, stone, porches and large windows to enjoy the views of Carters Lake.



## **SECTION 3 APPROVAL PROCESS**

Tranquility At Carters Lake is a covenant-enforced community and our Declaration of Covenants, Restrictions and Easements for Tranquility at Carters Lake governs the building of new homes within our community. The Governing Documents of the Tranquility at Carters Lake Owners Association require that an Architectural Control Committee (ACC) be formed to ensure that the natural beauty of the area is maintained for the enhancement of each owner's investment. The Tranquility at Carters Lake ACC "shall have the right and the responsibility to approve all building contractors employed or retained by any Homesite owner, and to impose reasonable requirements with respect to financial reliability and professional reputation. The ACC may also require a performance or other bond of the owner and/or building contractor to assure completion of improvements and/or protection and repair of community infrastructure."

**Property owners planning to build in Tranquility at Carters Lake must choose a builder approved by the Tranquility at Carters Lake Owners Association, Inc.**

Note: Each plan submitted must be one that has yet to be built in Tranquility at Carters Lake. No identical or similar house plans/floor plans will be approved.

### **1. Fees**

- A. A refundable \$5000.00 compliance deposit for the homeowner and a \$5000.00 compliance deposit for the builder is required. At final inspection if the homeowner or builder has met all requirements for ensuring that the design and construction guidelines are met in full including all items listed in the final field review letter then the compliance deposit will be returned.
- B. A one-time, non-refundable fee of \$750.00 shall be accessed at submission to cover all plan reviews.
- C. A one-time, non-refundable impact fee of \$1000.00 for all constructions taking place on Tranquility at Carters Lake community roads.
- D. *Any and all **post-executed variance** requests will be assessed a fee of \$500.00 per request after the initial plan has been approved.* Any such fee assessments will be deducted from the compliance deposit(s). All variance requests are subject to review by the ACC.

## 2. Initial Plan Review

Two sets of the following materials shall be submitted to the ACC (Architectural Control Committee) for review in 1/4" scale and 2 copies on 11x17 inch paper. This material will be reviewed for compliance with the Architectural Guidelines and cohesion with the community concept and design quality. Plans will be sent out to a third party for review.

- A. Complete Application for Residential Construction and submit it to the Tranquility at Carters Lake Owners Association, Inc. (TACLOA, Inc.) Architectural Control Committee (ACC). The builder must meet with the ACC prior to plan review submission.



- B. Preliminary Site Plan with north arrow, scale, property lines, house placement, setbacks, driveways, walks, decks, terraces, A/C compressor and screening, fences and pools.
- C. Preliminary floor plans and roof plan showing areas for each floor and overall dimensions with square footage for each floor.
- D. Preliminary elevations indicating exterior material.
- E. An Application for Residential Construction (including a review of the General Rules & Regulations for Approved Builders) must be completed and submitted to the ACC for approval.
- F. No site work or construction may begin until approval by the ACC is obtained.

### **3. Initial Plan Review Report**

The ACC shall have 30 days to render a report on the initial plan review. The property owner will receive a design review with one of the following decisions:

- A. Approval.
- B. Approval with recommended changes to be made before the Final Plan Review.
- C. Submission returned with recommended changes to be made before resubmitting for Initial Plan Review.

D. Rejection with an explanation of the reasons.

## **4. Final Plan Review**

Upon approval of the Initial Plan, two complete sets of the final construction documents shall be submitted to the ACC for Final Plan Review in 1/4" scale and 2 copies on 11x17 inch paper for permanent file records. This material will be reviewed for compliance with the Architectural Guidelines, cohesion with the community concept and design quality. The construction documents shall include the following material:

- A. Complete Plan Review Application.
- B. Site Plan with north arrow, scale, property lines, required setbacks, actual setbacks, house placement, location of all proposed structures, setbacks, driveways, walks, decks, terrace, A/C compressor and screening, fences, pools, finished first floor elevation and roof overhangs.
- C. All floor plans at 1/4" scale for Architectural Review.
- D. All exterior elevations at 1/4" scale indicating exterior materials, roof pitch, finished floor elevations, window header heights, building height.
- E. Roof plan at 1/8" or 1/4" scale indicating roof pitch material and overhangs.
- F. Details- typical wall section, cornice, rake and water table details and window and door surround details.
- G. Full exterior color selection with samples (paint colors on the house material, stone samples, etc.). The ACC will re-review

any color selection a potential homebuyer wishes to alter after approval, at no additional cost.

## **H. Front Entrance**

The front entry must be different from the remaining doors and windows visible on the front of the house, clearly recognizable as the primary entrance. The front entry or primary entrance must have a covered porch or stoop. Covered porches and stoops enhance the rambling character of the homes.

**Front** porches on the front entrance may **not** be enclosed.

No double-height **front** porches or two-story **front** porches are allowed on the front of the house. Double stacked **front** porches are allowed.

The space between piers supporting porches must be screened from view with the approved skirting material of natural stone masonry.

The surface of the **front** porch or stoop must be real stone (flagstone). The minimum depth of porches must be 8'0". However, **front** entry porches may be of less depth if consistent with the design of the house.

True divided lights or simulated

- I. Exterior light fixture schedule.

## **5. Final Plan Review Report**

The ACC shall have 14 days to render a report on the final plan review. The property owner will receive a design review with one of the following decisions.



- A. Approval.
- B. Approval with recommended changes to be make without requiring the owner to resubmit plans for review.
- C. Submission returned with recommended changes to be made before resubmitting for final review.
- D. Rejection with an explanation of the reasons for rejection.

## **6. ACC Site Visits**

- A. When the exterior is painted, a site visit shall be performed by the ACC to determine compliance with the final approved design. The owner or contractor (acting as the owner's agent) shall call to inform the ACC that the house is ready for inspection and schedule the site visit. The ACC will submit a written report to the owner on compliance of the constructed house with the design in the final approved plans. The ACC may consult with the Architect or designer for final inspection of the house.

## **7. Final Inspection**

- A. The Homeowner or builder will request final field review no later than within 30 days prior to closing or within 30 days of completion of all improvements. The ACC will then conduct a final field review, sending a certified letter to the builder and owner listing any changes required to bring the home into compliance with the approved plans. If corrections are not made within 60 days, the compliance deposit will be forfeited, and the owner will also be notified, and a copy of the certified letter will be sent to the owner notifying them

that they are responsible for compliance with the design guidelines.

- B. If the homeowner or builder fails to request a final field review in time to allow for the review prior to the home being occupied, the construction deposit is subject to forfeiture. The builder and the homeowner will both be held responsible for ensuring that the design and construction guidelines are met in full including all items listed in the final field review letter.

## **SECTION 4 ARCHITECTURAL DESIGN GUIDELINES**

### **A. Building Mass, Size and Height**

- The minimum square footage requirements are 1,600 square feet. Square footage is determined by finished, heated space from two floors only (either first floor or first and second floor). The main floor, having the homes main entrance, must be a minimum of 1,200 square feet with the remainder heated space being located on the second (upper) floor, or walkout basements.
- The mass of the building must appear rambling to complement the character of the site. This can be accomplished by manipulating the footprint, rooflines and/or exterior materials, as well as adding covered porches, stoops, dormers and bays.
- Corner and cul-de-sac lots are to be treated as having two front elevations.
- The building height is determined by the highest point of the roof, excluding chimneys and finials, from the finished first

floor. This height cannot exceed 40'.

- The finished first floor shall be no lower than 18" and no higher than 42" above grade.
- Residential structures shall have a minimum 10'-0" poured concrete basement walls, 9'-0" first floor to ceiling height and 8'-0" second floor to ceiling height.

Approved





Not Approved

## **B. Exterior Materials and Colors**

The architecture shall complement the rugged nature of the site through exterior finish materials and colors. The materials shall be rough, coarse and natural. The colors shall be natural warm tones. The following materials are allowed at TRANQUILITY at Carters Lake:

- Lap Siding – Genuine solid wood or cement siding with wood grain finish.
- Shake Siding – Genuine solid wood or cement siding with wood grain finish.
- Board & Batten Wall Siding – Genuine solid wood or cement siding with wood grain finish. Veneer cement materials is not allowed.
- Stone- All front exterior facades, regardless of material, must include at least 30% of the surface area in approved stone construction. Real stone must be used in a stack style, or in a vertical style provided that the stone used is also stacked type and 1 1/2" - 2" thickness. Stone may also be applied in

combination stack and approved veneer (real) stone. Stone types and colors are to be generally indigenous to the area. Tennessee field stone is an example of approved stone.

- Log Siding – Traditional Appalachian (rectangular, flat face) logs or siding of minimum 12” height (excluding simulated chink recess) with dovetail corners may be used. Logs or siding must be stained an approved color. Simulated chinking of a different color is not accepted. Any facade of primarily log material must include at least 30% of the surface area in approved stone construction.
- Exterior Trim - Genuine solid wood or cement with wood grain and fascia

**Materials not allowed at Tranquility at Carters Lake:**

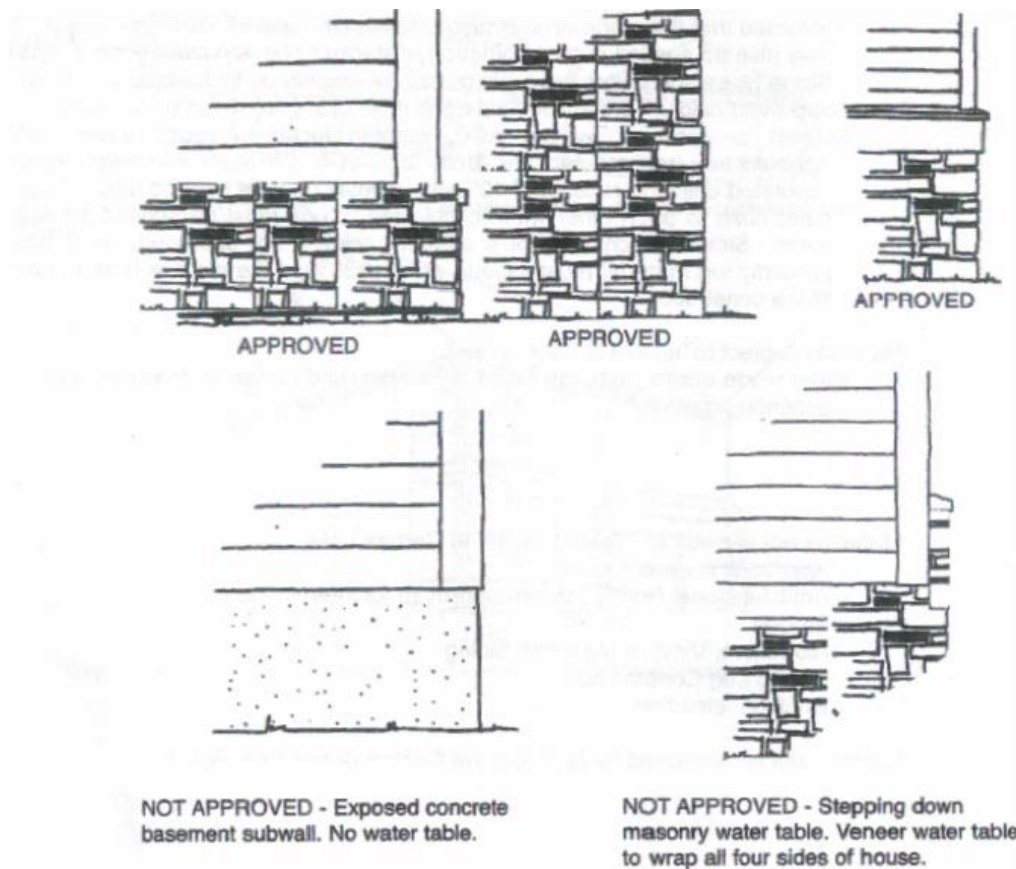
- Artificial stone
- Artificial thin veneer stone
- Stucco
- Aluminum, Vinyl, Masonite siding or engineered wood siding products, engineered wood trim products
- Round Log construction
- Brick construction

Colors must be approved by Architectural Control Committee (ACC)

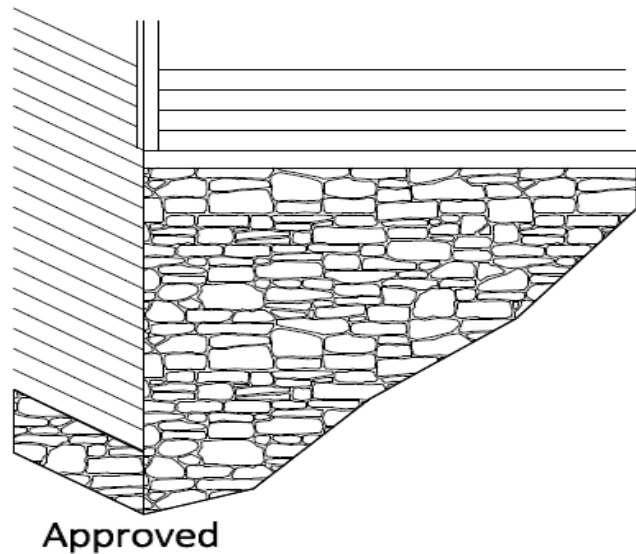
**C. Foundation and Water Table**

All homes and ancillary structures (garages, garden sheds, green houses, etc.) must have a masonry water table up to the finished first floor height, on all sides of the house or structure. A stepping down water table is not allowed.

The water table must be expressed in a horizontal band around the house band at the first finished floor height. If the basement is a walk out, the stone water table will only need to be 18" above grade or to the height of the windows on that level."







## **D. Garages, Driveways, Walks and Landings**

### **Garage Mass**

Each residence must have a minimum of a 2-car garage measuring at least 24'x24' with a minimum of 1'-8" between the door and the corner of the garage.

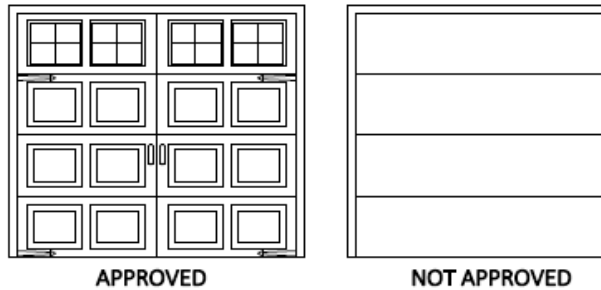
The mass of the garage should be treated as a separate structure even if it is a part of the primary residence. Whenever possible, detach the garage from the primary residence. The garage can be separate or connected with a breezeway. If this is not possible due to site constraints, a drive under garage is permitted with ACC approval.

Front entry garages (facing the street) must have overhanging architectural elements such as loggias, pergolas or trellises to dress up the garage.

The scale of a separate garage must be distinctly smaller than the scale of the primary residence. The level of detail for the garage must be equal to the main house.

## **Garage Doors**

- Garage doors must be single doors no wider than 10' unless approval is given by the ACC. Double garage doors are allowed with special approval in instances where necessary for reasonable clearance due to the size and layout of the lot and driveway.
- The garage doors must appear to be out-swinging carriage doors.
- Front entry garage doors are not allowed unless necessary to lot dimensions.
- All front entry garage doors are subject to approval by the ACC.
- No plain flush garage doors or garage doors without windows are allowed.



Driveways should be a maximum 12' wide, flaring out at the curb for a skirt and allowing for turnaround at the garage. The acceptable finish material for driveways is asphalt. Concrete is not approved.

A walkway must connect the driveway to the front entry of a property. Walkways should be of natural stone such as flagstone, approved brick pavers, approved colored or stamped concrete.

All other entry points for a home shall have an exterior landing.

## **Driveway Culverts, Walls and Fences – see page 43 for Natural Screening Fencing Requirements)**

- All lots with driveways crossing a drainage ditch in the 50' right of way will require a storm water culvert. Culverts may be of RCP (Reinforced Concrete Pipe) or Aluminumized Steel, Type 2 CMP (Corrugated Metal Pipe), 18" minimum diameter.
- Headwalls around any culverts are required and will be of stone and will require contracting with a stone mason to maintain a continuous look throughout the development. Grading contractors and landscapers will grade and grass the slopes into and out of the culvert pipe for erosion control and ease of mowing.
- Retaining walls shall be approved by the ACC and will be subject to height and orientation restrictions. All retaining walls will be faced with natural materials consistent with those used on the structures.
- Fences are to be constructed of natural materials as approved by the ACC and used only for screening of utility, solid waste or HVAC equipment.
- Fences of split rail or stone used as landscape accents must be approved by the ACC before installation.

- Fences of solid materials, chain link, or other similar sight blocking materials are not approved.
- Fences for swimming pools must be approved by the ACC.

## **Driveway Entrances**

Driveway entrances are not allowed for homes serviced by one of the several entrance gates at TRANQUILITY.

Driveway entrances and gates are allowed for homes that have driveways entering directly into the property from the public road. These entrances are required to be consistent with the overall design at TRANQUILITY, with natural stone construction. Gates shall be of steel or of wood clad steel in approved colors.

## **E. Roofs and Gutters**

### **Roofs**

The primary roof of a house or garage shall have a minimum roof pitch of 10/12 unless a lower slope no less than 8/12 is appropriate for the style as determined by the ACC. Other roofs (shed roofs, wings off house, accent gables, bays, dormer, etc.) shall have a minimum pitch of 6/12. When a roof is part of a

classical pediment, a 5/12 pitch shall be allowed. Certain porch roofs may have a minimum of 3/12 pitch.

- Flat roofs are not allowed unless used as a deck, terrace or porch with a surrounding balustrade, accessible from an adjacent interior room.
- Acceptable roofing materials include cedar or pressure treated pine shake, slate, or synthetic slate and fiberglass composition shingles of an irregular or architectural style, and in approved colors to blend with the natural environment.
- Metal roofs are not acceptable.
- Accents of standing seam or sheet metal roofs not more than 15% are acceptable with ACC approval.
- Roof materials and colors must be approved by the ACC.
- Rooflines should be used to accentuate the rambling nature of the house.

## **Gutters**

All gutters must be of seamless construction in pre-finished color consistent with the house.

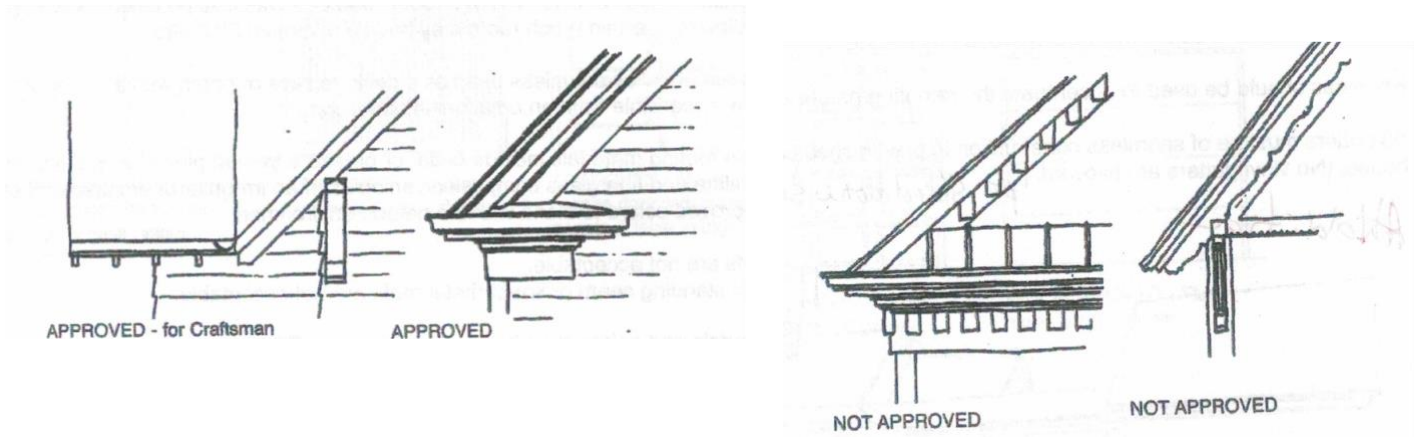
No vinyl gutters are allowed.

All gutter extensions are to be properly buried so as not to be visible.



## F. Cornices

All cornices must be appropriate to the style of house they are on and to the overall development concept.



## G. Exterior Doors

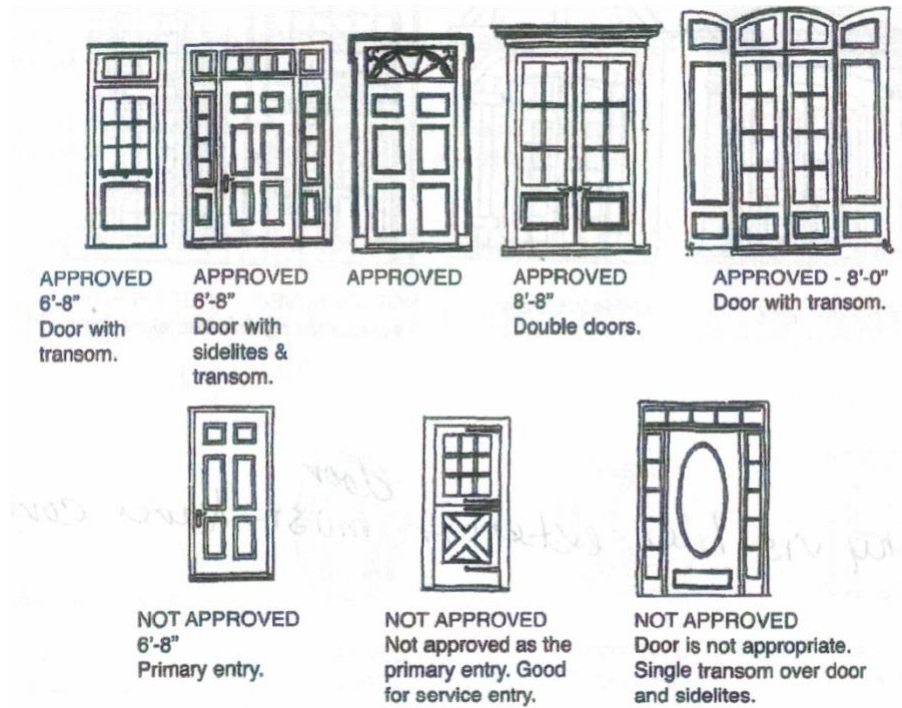
All doors on the first floor must be a minimum height of 8'-0" unless accompanied by a transom. Doors 6'-8" high with transom are permitted, provided the height of the door and transom are at least 8'-0" high.

True divided lights or simulated divided lights are acceptable in doors with glazing.

Doors and hardware should be appropriate to the style and scale of the house. Transom lights must be of equal size and proportion to the lights of the door. No stained glass or leaded glass doors are allowed unless appropriate to the style of the house and approved by ACC.

No storm doors or screen doors may be visible from the street. Any screen doors must be appropriate to the style of the house.

No sliding glass doors may be visible from the street.  
Any visible exterior door must have a covering.



## H. Front Entrance

The front entry or primary entrance must have a covered porch or stoop.

The front entry must be different from the remaining doors and windows visible on the front of the house, clearly recognizable as the primary entrance. True divided lights or simulated divided lights are required on front entry doors.



## I. Windows

All windows on the first floor must have a minimum header height of 8'-0" unless in a bay or acting as an isolated accent window. All windows should be full length windows where possible. True divided lights or simulated divided lights are required on all windows with the exception of rear facing windows.

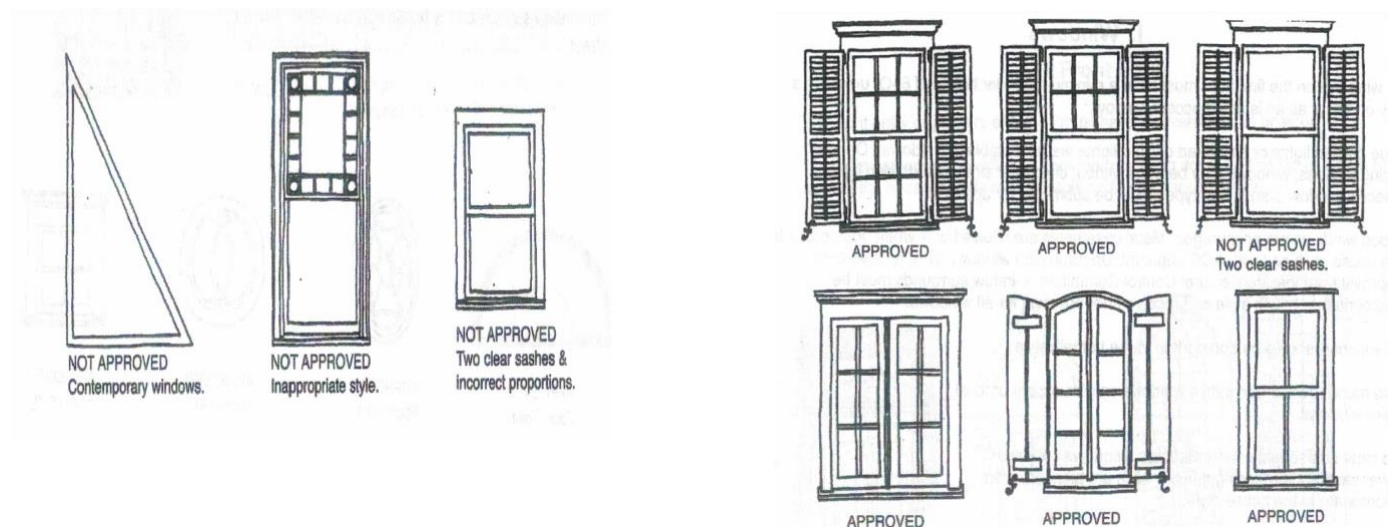
Wood windows are encouraged. Metal casements are allowed only when appropriate to the house style and with ACC approval. Upgrade clad windows must receive prior approval from the ACC. Window framing and trim are required and must be appropriate to the house style and receive prior approval from the ACC for all windows.

Vinyl windows and single pane windows are not allowed.

All windows should be appropriate to the house style.

Use round, oval or decorative windows only as accent or focal point windows. No clear sash double hung windows. Windows with clear lower sash and divided light upper sash are allowed when appropriate to the house style.

Visible window screens must be approved by the ACC.



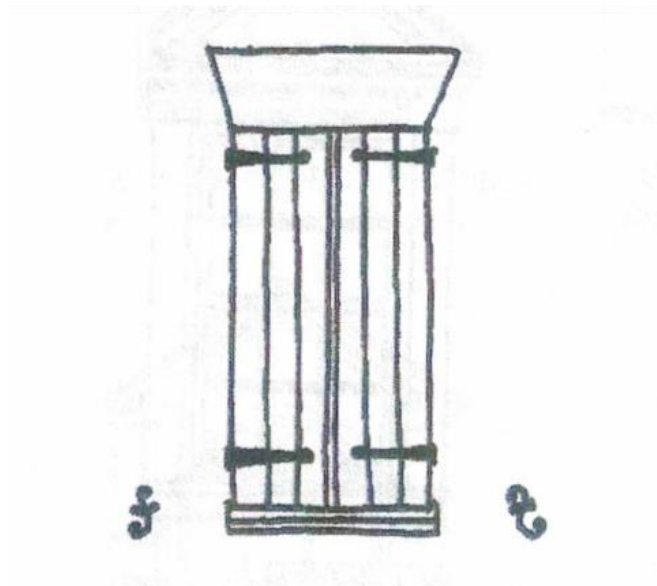


## J. Shutters

Shutters are allowed and encouraged if appropriate to the style of the house.

Shutters are to be operable, hinged shutters, sized to completely cover the door or window when closed.

Shutters must be able to be secured in both the open position with shutter dogs and in the closed position with a latch or lock.



## K. Awnings

Awnings are not permitted.

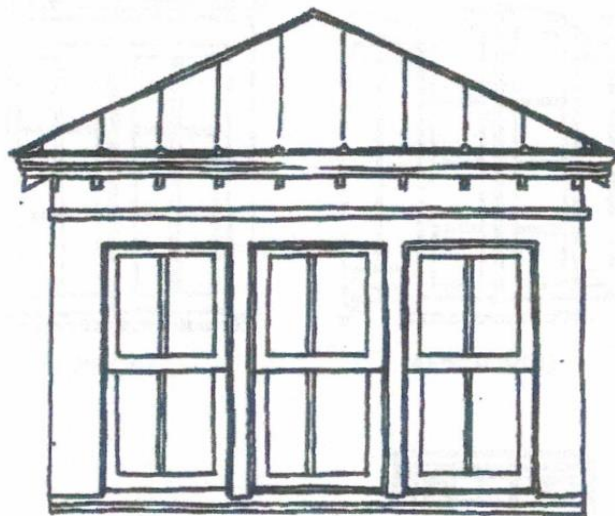
## L. Dormers

Dormers must be appropriately proportioned and detailed. No excessive trim or molding is allowed.

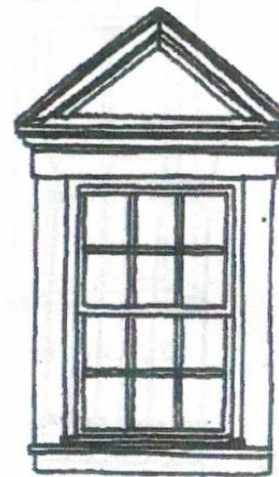
Windows should be placed appropriately in dormer, centered without excessive headroom.

Eaves must have acceptable overhangs. Minimize overhangs to avoid a “dog house” look.

Dormer roofs may be gabled, hipped or shed. Gable and hip dormer roofs must have a slope between 8/12 and 12/12, unless acting as a classical pediment, when a 5/12 slope is allowed.

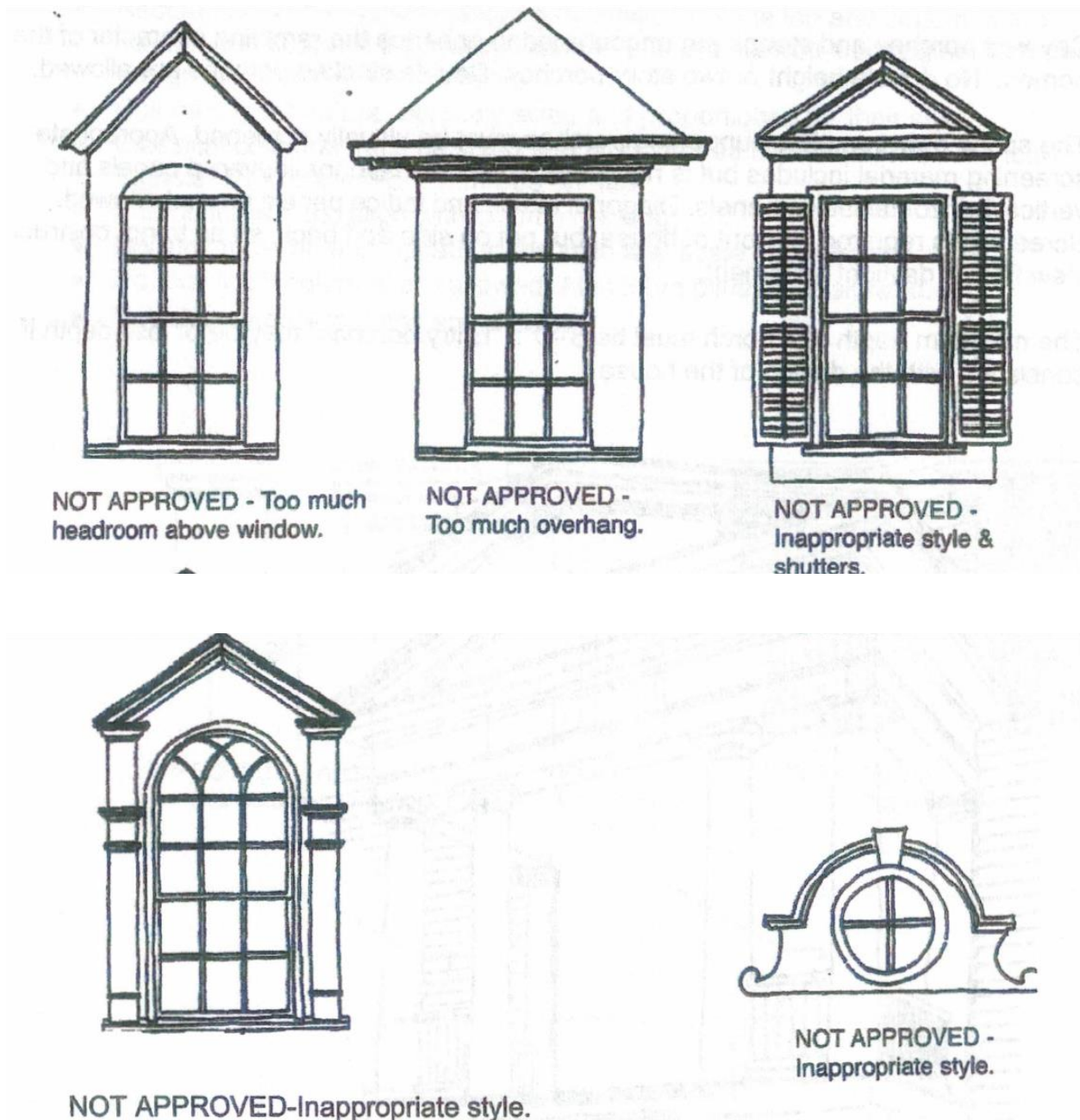


APPROVED



APPROVED





## M. Porches

The front entry must be covered by either a porch or a stoop. Covered porches and stoops are encouraged to enhance the rambling character of the homes. No double height or two- story porches. Double stacked porches are allowed.

The space between piers supporting porches must be visually screened. Appropriate screening material includes but is not limited to stone masonry, louvered panels and vertical/horizontal lattice panels. Diagonal lattice and lattice panels are not allowed.

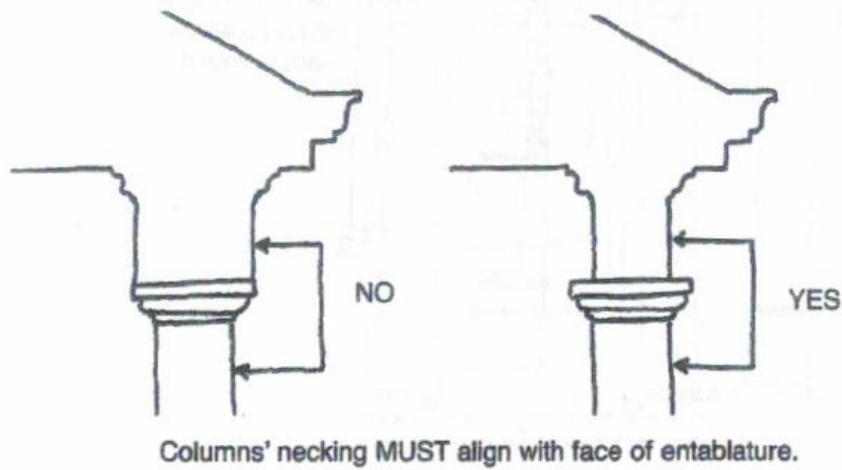
Screening is required on front of house and sides under porches not over a daylight basement. Screening is not required on side or back porches or decks over a daylight basement.

Minimum depth of back deck must be 8'-0". Entry porches may be of less depth if consistent with the design of the house.

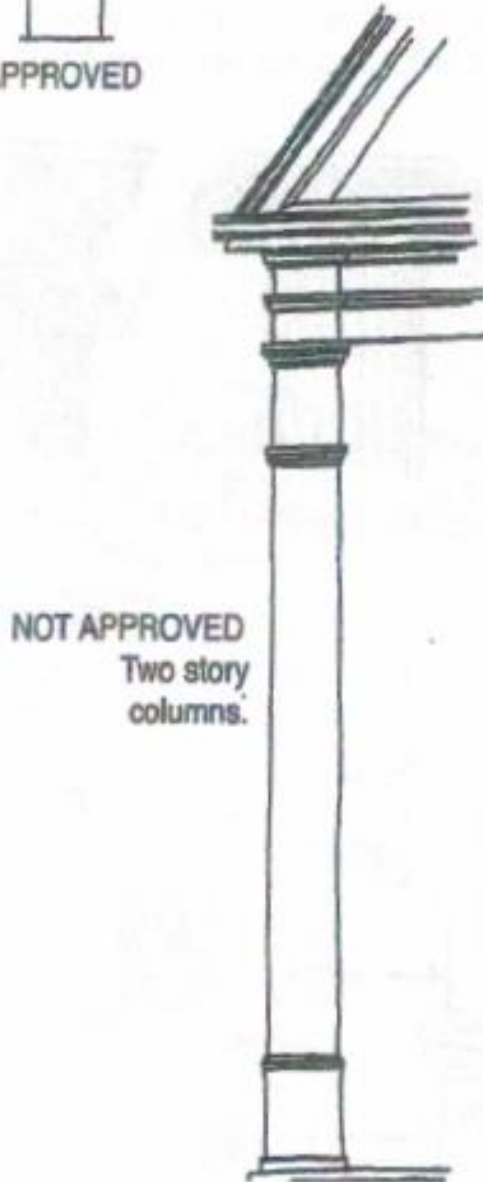
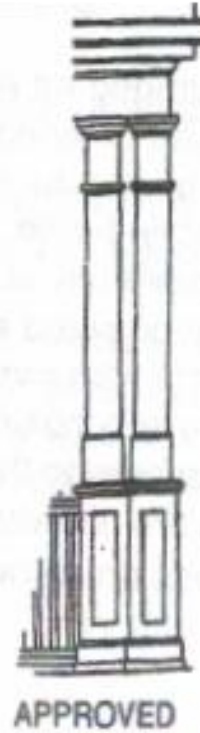
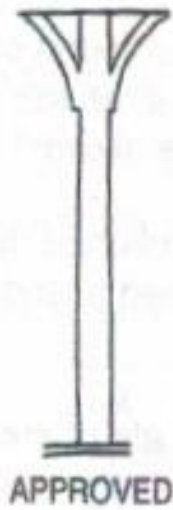
## **N. Columns**

- Box columns are encouraged
- Rectangular columns with differing dimensions at the top and bottom of the column and supported by natural stone piers are allowed if consistent with the design of a craftsman style home.
- Columns must be appropriately sized and proportioned for their style.
- Entablatures must align with column necking.
- Railing must be appropriate to the style and scale of the porch.
- No aluminum columns are allowed. Aluminum plinths are allowed.

- No turned wood columns are allowed.



Tranquility at Carters Lake Owners Association, Inc.



NOT APPROVED  
No turned posts or  
fretwork on porch.



NOT APPROVED  
Round columns  
without entasis.

## **O. Electrical and Mechanical Equipment**

All electrical and mechanical equipment must be screened from view from the street. This equipment includes but is not limited to air conditioning compressors, electrical transformers, etc. This equipment can be screened by fences, landscaping and walls.

Propane and other fuel tanks must be underground.

## **P. Garbage and Trash Storage/Disposal**

If garbage and trash containers are to be stored outside, they must be stored in a screened enclosure. The screening shall be compatible with the structure to which it is adjacent. The enclosure shall be located on the side or rear of this structure. Garbage and trash containers must be inaccessible to animals. Construction waste generated on any homesite shall be properly disposed of and kept contained in a dumpster or other approved storage receptacles. At no time shall construction waste or construction materials be allowed to blow onto adjacent properties.

All construction waste and dumpsters must be removed from the homesite prior to final occupancy inspection from the local governing agency.

## **Q. Mailboxes and House Numbers**

An approved mailbox with specified identification and the consistent design approved by the ACC is to be provided by owner of a home at TRANQUILITY prior to the receipt of a certificate of occupancy.

The home's street address may be on the front elevation. The location should be shown on the construction documents and approved by the ACC before attaching to the home.

## **R. Exterior Lighting**

- All exterior lighting shall compliment the style of the house of structure on which it is fixed and shall not be “flood” or other intrusive lighting.
- An exterior light fixture schedule shall be submitted with the final review for approval by the ACC. Exterior lighting shall not be intrusive to adjacent properties.
- Wiring for all landscape lighting is to be placed underground. Walkway and drive lights shall be low voltage and spaced a minimum of 20’ apart.
- All lighting along the street, if any, will be designed and installed by the developer.
- No “utility company” security lights mounted on structures or on poles are allowed.

## **S. Satellite Dishes, Antennas and Solar Equipment**

- All satellite dishes and antennas must be mounted so they are not visible from the street. Any satellite dishes or antennas mounted on the ground must be screened by fences, landscaping or walls.
- Location of satellite dishes must be shown on the construction documents for final plan review.
- No active solar equipment is permitted without prior ACC approval.

## **T. Decks and Terrace**



- Covered porches are preferred whenever possible to accentuate the rambling character of the homes.
- Decks are allowed on the rear of the home and must complement the style of the home and be designed by the architect or residential designer. The design must be submitted for final plan review.
- Exposed metal post are not allowed. If they are necessary due to code requirements or site conditions, they must be concealed by a column.
- These columns must be treated as any other column on the house. See column section for details.
- Columns, newels and rails on decks must match those on porches in design and finish.
- When site conditions permit, terraces are preferred to decks.
- Available finish materials for terraces include but are not limited to brick, approved pavers, stone or stamped concrete.
- Swimming pools are allowed subject to approval by the ACC. Outside hot tubs must be located at the rear of the house and surrounded by decking etc. to not be visible. Pools and related decks and fences must be designed to blend into the natural landscape.

## **U. Play Equipment, Decorative Appurtenances, and Exterior Furniture**

Play equipment must blend with the home and the natural environment. Designs and materials are to be submitted to the ACC for approval.

Decorative appurtenances which include, but are not limited to statuary, banners/flags (except for the United States flag), bird/butterfly houses, bird/animal feeders, bird baths/fountains/ponds, outdoor furniture, planters and the like must blend with the home and the natural environment.

Holiday decorations must likewise blend with the home and the natural environment and consist of live or natural appearing materials. No plastic caricatures, flashing or running lights, lights delineating structures or property lines are permitted.

Seasonal decorations are allowed for the applicable holiday period and shall be promptly removed thereafter.

## **V. Landscape Maintenance**

Although the natural landscape environment is part of the development concept of TRANQUILITY at Carters Lake, home owners are expected to keep the natural landscape in check.

- Fallen trees and branches are to be picked up and removed from the property and excessive underbrush/grass growth shall be cut back from areas visible from the right of way.
- Trees/ and shrubbery shall be limbed up as needed to keep properties well kept. All non-native landscaping properly pruned and trimmed. **NOTE:** Property owners without homes are not subject to landscape maintenance requirements.

## **W. Outdoor Fire Pits and Fireplaces**

Permanent outdoor fireplaces or fire pits shall be approved by the

ACC. When considering construction of outdoor fireplaces and fire pits, property owners must incorporate sufficient fire safety provisions including fire retardant materials, non-combustible surrounds, minimum distance from structures and water source in case of emergency.

Portable outdoor fire pits shall be used and stored only in the rear yard of homesites.

Portable outdoor fire pits shall be a minimum 6" deep and 2' across to keep embers and flames contained and must be set atop a non-combustible surface such as concrete, stone, gravel, brick or a fire-resistant composite.

A setback of 25' from any structure is recommended for both permanent or portable outdoor fire pits.

Do not use a portable outdoor fire pit on a wooden deck or porch.

Do not position a portable outdoor fire pit under a covered deck or porch or low overhanging branches.

Do not leave any outdoor fireplace or fire pit unattended.

Do safely extinguish all outdoor fires in fireplaces and fire pits and properly dispose of ashes.

Do have an emergency plan. Keep a fire extinguisher, garden hose or water bucket or pail of sand close to the fireplace or fire pit.

## **Section 6 Natural Landscaping and Vista Pruning Guidelines**

## Why it's important...

Trees and shrubs help define our environment, adding form and texture to the landscape. While the animals depend on them for habitat and sustenance, we rely on trees and shrubs to lend visual perspective and complement the manmade architecture of our homes. Trees also provide shade, reminding us that even the climates of our yards and homes are affected by plant life.



## **The Guide to Natural Landscaping and Vista Pruning at Tranquility at Carters Lake**

The following covenants and guidelines on Landscaping and Vista Pruning are designed to benefit the community as a whole. This declaration of covenants and restriction of the Tranquility at Carters Lake Architectural Control committee establishes the rights and discretion to approve landscaping and tree trimming. All property at Tranquility at Carters Lake is subject to these covenants.

A careful study of this publication will lend understanding to the reasons behind the covenants and guidelines and create a greater appreciation of the benefits to the community as a whole that will result from following them. Ultimately, compliance with these guidelines will satisfy the vision of all Tranquility at Carters Lake property owners for a beautiful environment we can all enjoy for years to come.

## Vista Pruning

One of the primary reasons for purchasing a homesite at a higher elevation is to enjoy the views from any given property in the community. **The removal or pruning of trees and shrubs or other purposes cannot be done until after construction is completed; and then only with on-site approval of the Tranquility at Carters Lake Architectural Control Committee**

Both distant views and views through the nearby woodlands can be maintained and enhanced through careful removal and pruning of trees. Excessive removal, over-trimming of trees can diminish the appearance of the natural environment and is specifically not allowed. Attempting to achieve an unobstructed “panoramic” view can often destroy that natural appearance by creating an unattractive raw or chopped look. The goal of careful vista pruning is to ensure that trees look as if they have never been touched. Tree topping is not allowed.

## Natural Landscaping and Vista Pruning Guidelines

Correct vista pruning of home sites at higher elevations is particularly important, since they are a full view from a distance and from other homesites on the property. Over time, vista

pruning is a critical factor in determining the quality and aesthetics of the Tranquility at Carters Lake community.

### **Consider this:**

- A tree is a valuable asset which may take nature a hundred years to produce, but through careless or hasty decisions, can be destroyed by a chain saw in a matter of minutes.
- Trees are powered by solar energy, and by intercepting this energy, correspondingly reduce the heat load on shaded homes and other areas.
- From its leaves, a small tree can introduce into the atmosphere several hundred gallons of water a day as invisible water vapor.
- The environment under the tree canopy is naturally air-conditioned by its ability to control solar heat and humidity.
- Vegetation greatly reduces the intensity of noise from nearby areas.
- Trees reduce glare by their shade and color; in deep shade from 10,000 to 50 foot candles, which is the maximum necessary for reading.
- Trees accomplish all of this for us naturally

## **Site Inspection and Clearing**

After plan approval, the builder must request the ACC to make a site inspection which is required prior to lot clearing and

construction. The site must be clearly staked to include the proposed house, property lines, and drive. A grade stake must be provided to indicate either the first floor or basement finish grade elevation. Staking shall be with a continuous ribbon and circling the area to be cleared and any additional trees to be cleared outside the encircled area shall be ribboned individually or in groups. Failure to ribbon or stake the lot clearly can result in additional review fees being charged to the builder. Silt fencing shall be a minimum of 36" and must be installed the same day the site is cleared.

The purpose of the site inspection is to ensure compliance with the approved plans and prevent any unnecessary damage to trees or other unique site features. Inspection shall be made within two working days of the request. Authorization to proceed with clearing and construction will be issued immediately after inspection. To arrange for site inspection, contact the ACC.

## **Natural Landscaping and Vista Pruning Procedures**

The best policy for pruning is to be patient. Wait and watch for several months or a year after construction so existing trees and vistas can be fully appreciated. Consider the balance between resplendent spring and fall colors of red maples, sour woods, black gums, and dogwoods as they contrast with the less colorful but larger and more sturdy oaks and hickories. Remember, once branches and trees are removed, they cannot be replaced. They can always be removed at a later date. When properly done, pruning will not have to be repeated for many years. Trees will appear natural, as if they were never disturbed by human hands.

## **Procedures**

- The tree canopy is the upper controlling part of the forest, and it is important to be sure its integrity is preserved during the pruning process. The proper pruning procedure uses



existing or new “windows” within the tree canopy, allowing home owners to enjoy tasteful views from their properties, whether those views are distant or simply a view through the nearby forest. Windows allow property owners to experience a range of views from different points on the property and as the seasons change.

- If possible, always trim under the tree canopy. The test of whether a limb should be removed or not is to determine whether its absence will be detected, or whether it will affect the natural appearance of the canopy.
- If a limb in the canopy must be pruned, consider the effect it will have on future growth of the canopy, as well on the open space and ground below, especially with respect to light.

## **Natural Landscaping**

The goal of natural landscaping is to bridge the gap between man-made construction of a house and the natural environment in which the house is built. Done well, natural landscaping allows the physical structure of a house to blend with its surrounding natural environment and can be an integral part of converting a house on a lot into a visual appealing homesite.

Because Tranquility at Carters Lake homesites are part of a mountain setting, this and landscaping features of typical suburban homes. Natural landscaping takes into account other factors, such as the initial siting of the house on the lot; the use of structural features such as driveways, walks and retaining walls’

and the use of certain plants to blend these features, along with the house, into the surrounding natural environment.

## **Covenants and Guidelines**

### **Prior To Construction**

- A site plan must be submitted on a topographic map which shows the location of the house, septic tank and drain field, and all drives, walks, and parking areas, with each clearly indicated in their appropriate location and to scale.
- Prior to any physical disturbance of the site, special and/or irreplaceable features are to be identified and provisions for their protection clearly established. This includes large and/or “character” trees, rock outcroppings, springs and streams, and concentrations of azaleas and other wild flowers and shrubs.

### **After Construction**

- Final landscaping must be completed prior to the issuance of an occupancy permit. This is based on the submission and approval of a natural landscape development plan which should locate and specify the kinds of ground covers, shrubs and trees for the drives, parking areas, driveway entry, road frontage, septic field, and disturbed areas, and also any landscape construction such as walk, steps and walls.
- The removal or pruning of trees and shrubs or other purposes cannot be done until after construction is completed; and then only with on-site approval of the Tranquility at Carters Lake Architectural Control Committee.

- Covenants also tightly control or prohibit signs, fencing, play equipment, garbage containers and similar non-natural features.

## **Procedures for Natural Screening**

- In screening the house, consideration must be given not only to the view from the road, but for homes at the higher elevation the rear view from afar. As a minimum, the foundations are to be screened, and the lines of the home tastefully blended on all sides into the natural environment.
- Drives, parking, patios and paths should be screened and softened in accordance with the above considerations.
- The home owner is responsible for making the driveway entrance and road frontage attractive, even though they are within the road right-of-way, rather than on a lot.
- Transformers, drains, culverts and similar features should be appropriately screened and blended into the environment.
- The use of rustic fencing (decorative, as approved by the ACC), stone walls and other structural features are encouraged. If a low bank is present, it needs to be sloped back so that it will retain a covering of organic mulch. Excess dirt should be hauled away. High banks or deep culverts require special attention for determining the extent to which landscaping is required. Natural mulching materials are to be used to cover exposed earth during and after construction.

- Artificially colored mulches are not permitted. Gravel, lava rock and the like are also not permitted.
- Natural mulching materials are to be used to cover exposed earth during and after construction. Artificially colored mulches are not permitted. Gravel, lava rock and the like are also not permitted.

## **Transplanting**

The primary rule in the care of transplanted shrubs and trees is to keep the roots cool and moist. A thick mulch, preferably 8 inches, along with frequent soakings during drought periods, will enable even shade-loving shrubs to become established in sunny areas. (Please note that only mulch of a natural color is allowable.) This extra care is needed for at least three growing seasons.

## **Allocation of Cost**

Cost for natural landscaping are to be incorporated into the costs of the home. Of course, the expense for shrubs and trees will vary with the kind of site, the type of construction and the natural setting and can range from a few hundred dollars to several times that amount. This is in addition to costs for structural features such as walls, steps, drives and fences.

For speculative homes, the builder is required to incorporate the cost of natural landscaping into the contract cost of the home. For owner-built homes, the owner should preferably include landscaping in the contract price for construction, but in any case, provide for its completion prior to occupancy. These steps will insure that the natural landscape work is preformed correctly and also will allow the property owner to include this cost in the mortgage (assuming this form of financing is used) rather than as an additional expense after the mortgage is closed. A realistic

estimate can be made at the time the home is sited and the architectural design is approved.

## **Ground Cover, Shrubs and Trees at Tranquility at Carters Lake**

To ensure that ground covers, shrubs and trees at Tranquility at Carters Lake effectively blend with the natural highland environment, we offer a carefully selected list of recommendations. Home owners frequently have favorite flowers and shrubs not recommended here, and we *suggest* using those selections in areas not in public view. Tranquility at Carters Lake's recommendations are based on the following criteria:

- Color, texture and general appearance that blends with the woodland environment.
- Hardiness for the upper Southern mountain climate.
- Comparative ease of maintenance and as free from disease and insect pests as possible.
- Adaptability to mountain soils.
- Familiarity and availability to the landscape trade.
- Collectively providing a wide range of landscaping problems and environmental conditions.
- Providing a wide selection of both native and introduced species and varieties. Berry seed plants for birds, squirrels and other animals are also included.